



Zoning Information and Maps

In many instances, zoning information and requirements may be provided by the Zoning Administrator. Persons needing information about properties within the City should call 217-854-4908.

Copies of the City of Carlinville ordinance, zoning applications, and zoning map are available online at www.cityofcarlinville.com.

Zoning Benefits

- Conserving and protecting property values by preventing incompatible land uses from locating in a given area.
- Facilitating adequate and economical provision of public improvements.
- providing for orderly community improvement.
- Limiting overcrowding of land and congestion of population, transportation systems and other public facilities
- When necessary, develop special programs to achieve specific land management objectives and avert or solve specific land use problems.

Questions about the Zoning Ordinance or to set up a meeting contact the Zoning Department:

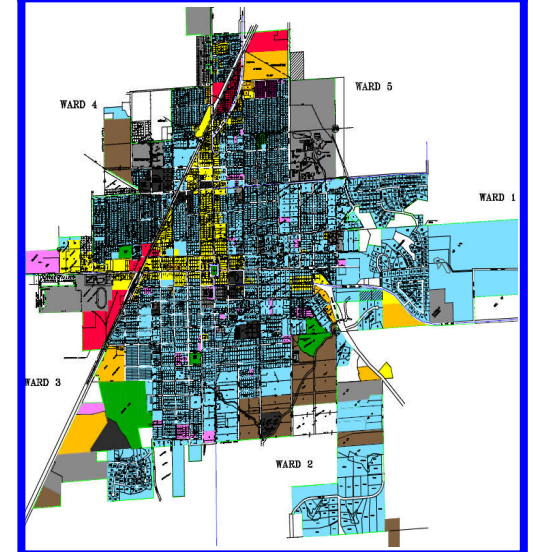
Zoning Administrator

Aaron Coe

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217-854-4908

City of Carlinville Zoning Map



A Basic Guide to Zoning in Carlinville

Carlinville City Hall
550 North Broad
Carlinville, IL 62626
www.cityofcarlinville.com

What Is Zoning?

Zoning is the division of land into districts or zones for the efficient and proper regulation of land uses and development standards. Zoning is in place to promote the health, safety, morals, and general welfare of the City through the equitable regulation, protection, preservation, and enhancement of land and land use activities.

Where is There Zoning?

All property within the City carries a specific zoning classification as established by the Zoning Ordinance of the City of Carlinville. There are no zoning restrictions outside the City limits. Currently, there are 11 different zoning district classifications in use. These districts are grouped into four major land use or development designations: residential, commercial, industrial, and agriculture.

Zoning Districts

<u>Abbreviated Designation</u>	<u>Zoning District Name</u>
A	Agriculture
S-1	Single Family
S-2	Single Family
MH	Mobile Home
MF	Multi-Family
C-1	Neighborhood Commercial
C-2	General Commercial
G	Government
R	Rehab, Religion, Education
P	City Park
I	Industrial

Types of Zoning Applications

Temporary Zoning Permit Application

Issued for project and good for one year from the date of issuance. A Temporary Zoning Permit is required but not limited to: new construction; structure alterations; mobile home and modular home installation; sign installation; fence installation; deck, patio, porch and stoop construction; garage and carport construction; siding installation; playhouse construction; kennel and stable construction; roof construction; shed and storage unit construction; pool installation; and vending machine installation.

Variance Application

An exception to a zoning restriction which allows use of the land outside the requirements of the zoning for that area. The Variance procedure involves a publication and a public hearing, both of which the Zoning Administrator will conduct. The publication in the newspaper is meant to notify the public and is to be submitted at least 15 days prior to the public hearing and is meant to notify the public of when the Planning/Zoning Commission will vote on the variance. The Planning/Zoning Commission meets on the second Monday at 7pm of each month. Upon denial or passage of the Variance the recommendation will be forwarded to the City Council meeting of the following third Monday at 7pm where the Variance will be passed or denied.

Special Use Application

A use that has unusual operational, physical, or other characteristics which distinguish it from the permitted uses of a district, but which can be made compatible with the intended overall development within a district. A Special Use procedure works in the same manner as a Variance in that the process requires a publication and a public hearing in order to be issued. A Special Use Permit carries an annual fee of \$10.

Rezoning Application

Issued to change the zoning classification of a property. A Rezoning of a Property works in the same process as a Variance and Special Use in that it requires a publication and a public hearing.

Replatting or Subdivision Application

Done to create a new residential or commercial subdivision within the City or to change the number or configuration of current lots within a subdivision. The application process works in the same manner as a Variance in that the process requires a publication and a public hearing in order to be issued.

Area and Bulk Regulations

<u>Zoning District</u>	<u>Max Number of Dwelling Units</u>	<u>Area (ft.²)</u>	<u>Depth of Front Setback</u>	<u>Depth of Side Yard Setback Abutting Street</u>	<u>Side Setback Abutting lot</u>	<u>Rear Setback</u>	<u>Maximum Height of Principal Building</u>	<u>Maximum Height of Accessory Building</u>
A	1 per lot	5 acres	25'	25'	8'	20'	35'	None
S-1	1 per lot	≤ 4,000	25'	15'	4'	15'	35'	20'
S-2	1 per lot	≥ 5,000	25'	25'	8'	20'	35'	20'
MF	1 per 2,000 ft. ² of lot area	6,000	25'	25'	8'	20'	35'	20'
MH	1 per lot	4,000	20'	20'	8'	10'	35'	20'
C-1	1	6,000	25'	10' except when abutting a "S" District then 25'	4' except when abutting a "S" District then 25'	10' except when abutting a "S" District then 20'	35'	25'
C-2	1	6,000	25'	10'	4'	10'	35'	25'
G	1	5,000	25'		8'	20'	35'	20'
R	1	6,000	25'	25'	8'	20'	35'	20'
I		7,000	30'	30'	30'	30'	35'	None